



**CONSULTANTS**

**SURVEY:**  
 Favreau Savage Inc  
 Land Surveying  
 Contact: PAtrick Savage  
 2488 Newport BLVD Suite C  
 Costa Mesa, CA 92627  
 949-675-8030

**SOILS REPORT:**  
 Coast Geotechnical  
 Contact: Ming-Tarrng Chen  
 1200 W. Commonwealth Ave  
 Fullerton, CA 92833  
 714-521-0169

**STRUCTURAL ENGINEER:**  
 Curd Engineering  
 Contact: Greg Curd  
 214 17th Street  
 Seal Beach, CA 90740  
 562-596-6612

**TRUSS DESIGN:**  
 Stone Truss  
 Contact: Steve Hall  
 507 Jones Road  
 Oceanside, CA 92054  
 714-096-6171

**TITLE 24:**  
 NRG Compliance, Inc.  
 Contact: Sara Sharp Goldstein  
 PO Box 3777  
 Santa Rosa, CA 95402  
 707-237-6957

**THE REUSE PEOPLE  
 DECONSTRUCTION**  
 Contact: Arthur  
 11358 Elderwood St.  
 Los Angeles, CA 90049  
 310-946-3179

**DESIGN DATA**

Code: 2013 CRC, 2013 CEC, 2013 CPC,  
 2013 CMC, 2013 CA Energy Code, 2013  
 Calgreen, LB City Ordinance

**SETBACKS:**  
 Front: Variance Approved at 3' for  
 Sorrento (instead of 8')

10' (special) at water side

**SIDES:** 3'

**REAR:** N/A (Thru Lot)

**HEIGHT LIMIT:**  
 24' Midpoint / 28' Max.

**ZONE:** R-1-S  
**OCCUPANCY:** R-3  
**USE:** SFD  
**CONSTRUCTION TYPE:** V-B

**SPRINKLERS:** Yes  
**COASTAL ZONE:** Yes  
**FLOOD ZONE:** Yes  
**PROPOSED FINISH  
 FLOOR HEIGHT:** 9.5'

**SQUARE FOOTAGE CALCULATIONS**

**PROPOSED TOTAL SQUARE FOOTAGE**

First Floor:	1637 SF
Second Floor:	2086 SF
Total Livable:	3723 SF
Garage:	580 SF
Total Structural:	4303 SF

Lot Size:	3576 SF
Total Building Area:	3723 SF
Floor to area ratio:	1.04
( < 1.2 allowed = 4219.2 SF)	
Maximum Lot Coverage:	N/A
Open Space Provided:	237 SF
( > 6% (214 SF) Required)	

**GENERAL SCOPE OF WORK**

New 2-Story Single Family Residence.  
 Including 6 Bedrooms and 5.5 Baths.

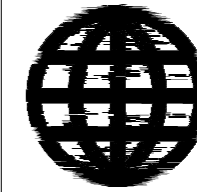
Deferred Submittals:  
 - Fire Sprinklers (the fire prevention  
 bureau)  
 - Solar Panels -

**SHEET INDEX**

- A-0 Cover Page
- A-3.1 Demolition Plan
- A-4.1 First Floor Plan
- A-4.2 Second Floor Plan
- A-5.1 Roof Plan
- A-6.1 Proposed South & East Exterior Elevations
- A-6.2 Proposed North & West Exterior Elevations
- A-10.1 Sections
- D-1 Architectural Details
- SCH-1 Schedules- Doors/ Window/ Plumb/ Appliance

**DISCHARGE OF POLLUTANTS NOTE**

The discharge of pollutants to any  
 storm drainage system is prohibited. No  
 solid waste, petroleum byproducts, soil  
 particulate, construction waste materials,  
 or wastewater generated on construction  
 sites or by construction activities shall be  
 placed, conveyed or discharged into the  
 street, gutter or storm drain system.



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Address: Univers - Planet Earth -

COVER PAGE

Owner

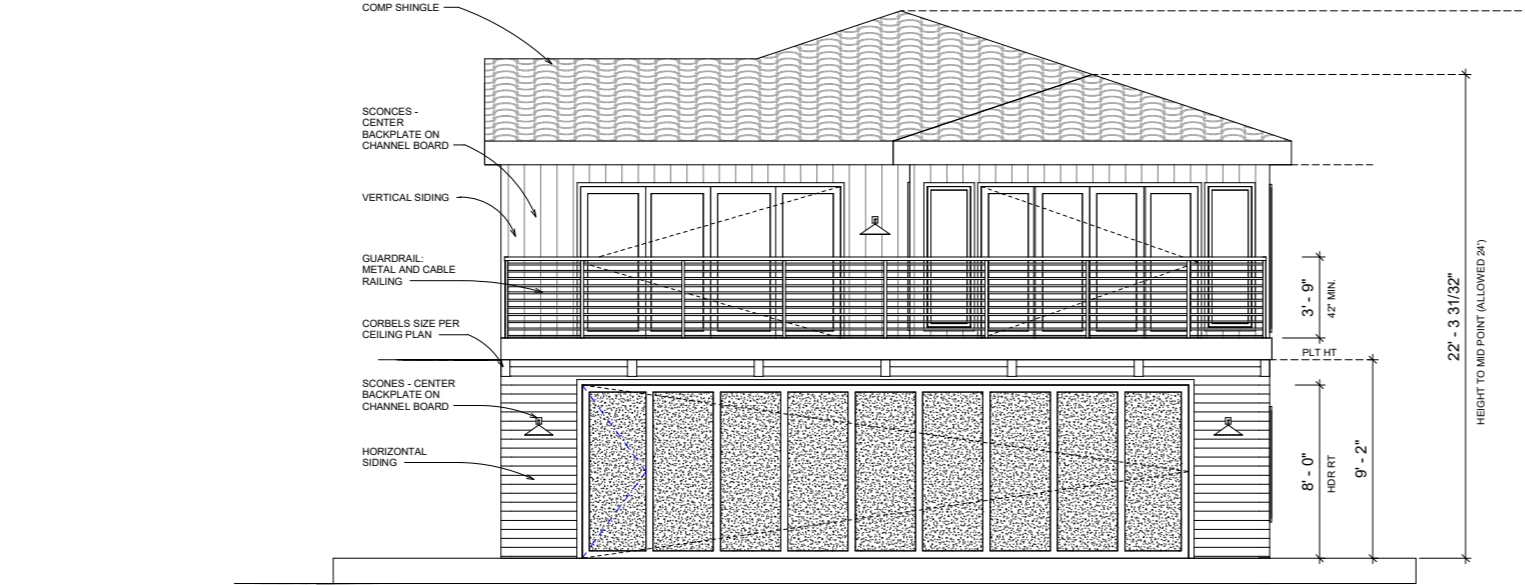
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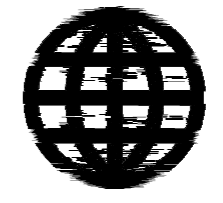
Scale



North  
3/8" = 1'-0"



West  
3/8" = 1'-0"



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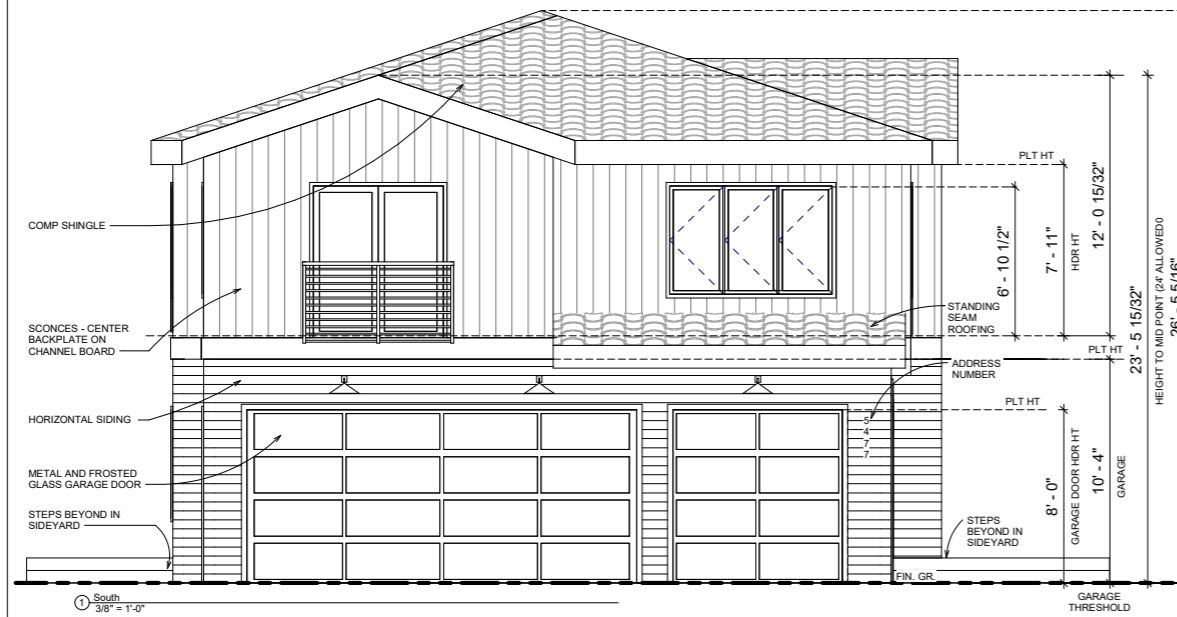
PROPOSED  
NORTH & WEST  
EXTERIOR  
ELEVATIONS

Owner  
  
Project Name

Revision:  
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A105

Scale  
6/7/2021 10:51:37 AM 3/8" = 1'-0"



① South  
3/8" = 1'-0"

**EXTERIOR FINISH NOTES:**

All products listed below shall be installed per manufacturer's instruction so as not to void warranties.

**SIDING:**

Mixed siding, locations per elevation - verify with architect if any questions on which wall planes for what siding type.

Horizontal Siding: Boral TruExterior siding, craftsman collection - "channel siding" with smooth finish. Apply 1x6 boards in a horizontal application. Cut Down groove to be 1/2" gap between boards. See - [www.boralamerica.com](http://www.boralamerica.com)

Vertical Siding: Boral TruExterior siding, craftsman collection - "channel siding" with smooth finish. Apply 1x10 boards in a vertical application. Cut down groove to be 1/2" gap between boards. See - [www.boralamerica.com](http://www.boralamerica.com)

**EXTERIOR TRIM:**

All exterior trim shall be primed on all sides and ends and painted on all exposed sides.

Window/Door trim: Boral TruExterior trim with smooth finish. Use 2x6 boards and rip in half to be 2x2. See - [www.boralamerica.com](http://www.boralamerica.com)

Bellyband: Boral truExterior trim with smooth finish. Use 2x12 boards. See - [www.boralamerica.com](http://www.boralamerica.com)

**EXPOSED BEAMS:**

Paint grade wood. Wood to be arch grade and rated for exterior applications.

**RAILING/GUARDRAIL:**

To be stainless steel frame contact owner for final finish and color selection. Use with 1/8" stainless steel cables (316 grade for all stainless).

**GATES/FENCE:**

Horizontal wood, paint grade.

**FRONT DOOR:**

Wood door with decorative windows, paint grade door (verify color with owner/architect)

**EXTERIOR WINDOWS/DOORS:**

Black or mid-tone grey exterior clad frames (verify final color with owner/architect), with coastal package on finish and hardware, contractor to verify all window/door operable hardware options with client prior to placing order. See schedule for manufacturer and other specs. for typical moisture penetration detail at openings in exterior wall, refer to architectural detail 24/D2.

**GARAGE DOOR:**

Frosted glass door with metal frame to match windows/door finish (verify final selections with owner/architect). See schedule for more information.

**ROOFING:**

See roof plan for information and specs.

**ROOF FASCIA:**

Paint grade, smooth surface.

**SCUPPERS, GUTTERS, & DOWNSPOUT:**

Galvanized, bonderized metal, see roof notes (verify final color finish selection with owner/architect)

**ADDRESS NUMBERS:**

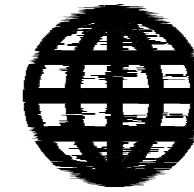
6" tall "deep ribbon" by [www.westonletters.com](http://www.westonletters.com) (or equal). (Verify final color finish selection with owner/architect).

**BLOCK PROPERTY WALL:**

Horizontal wood with curb below. See site plan for more information.



② East  
3/8" = 1'-0"



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PROPOSED  
SOUTH & EAST  
EXTERIOR  
ELEVATIONS

Owner

Project Name

Revision:

Revision:

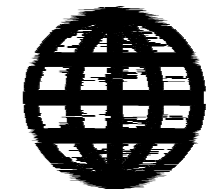
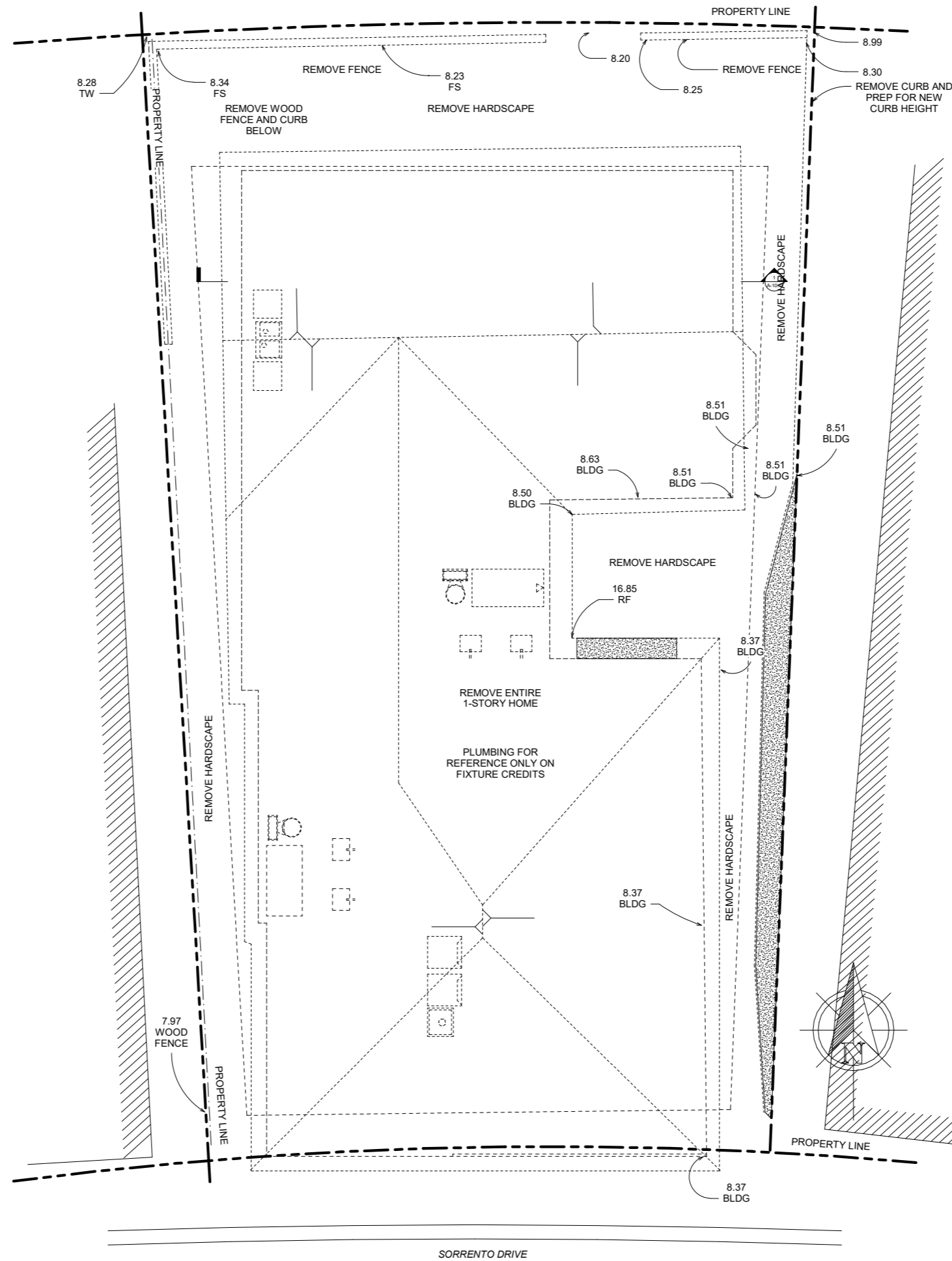
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Scale  
3/8" = 1'-0"



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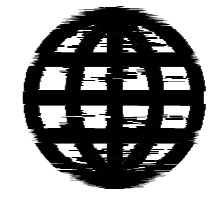
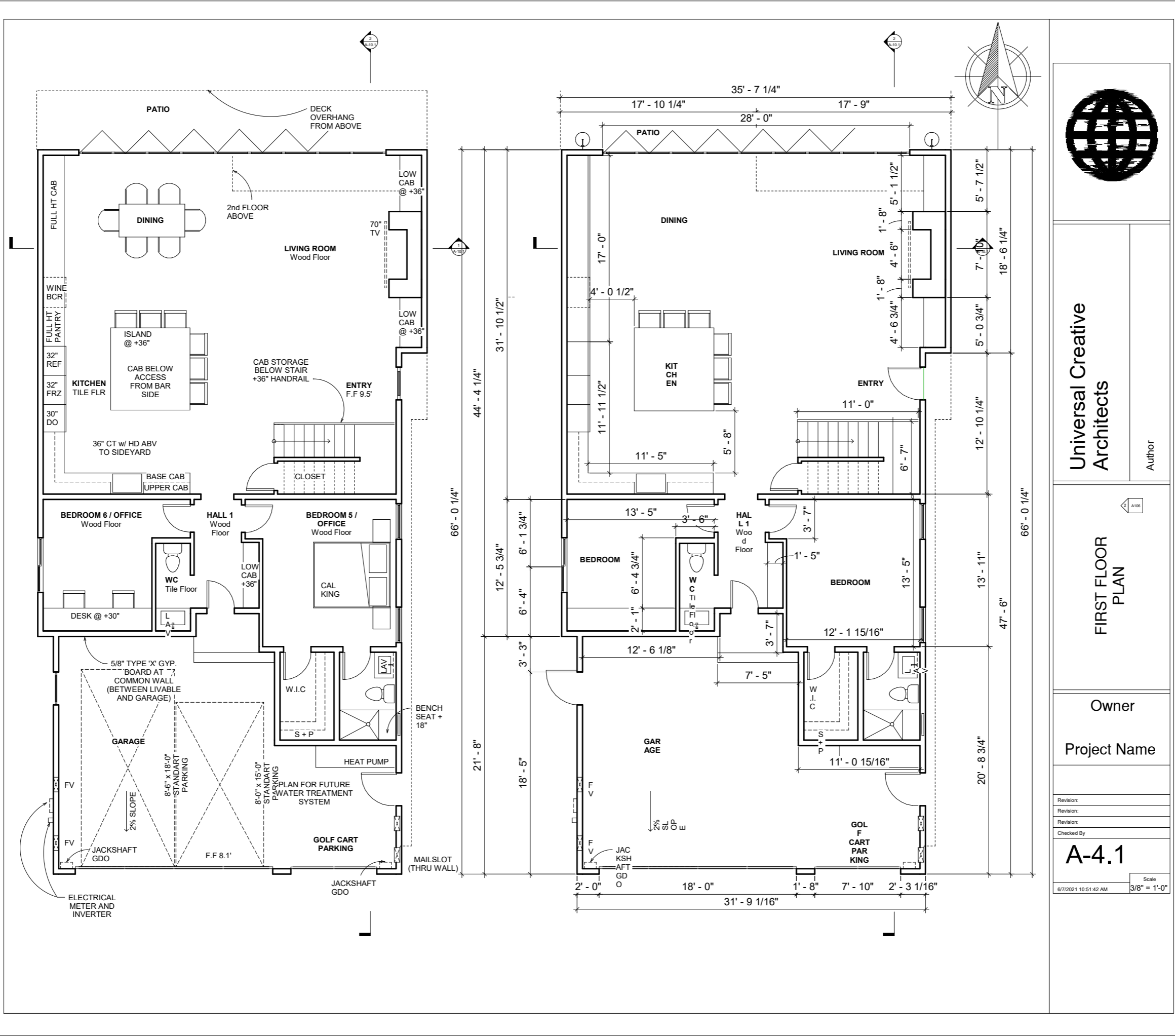
DEMOLITION  
PLAN

Owner  
Project Name

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A-3.1

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3/8" = 1'-0"



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FIRST FLOOR  
PLAN

Owner

Project Name

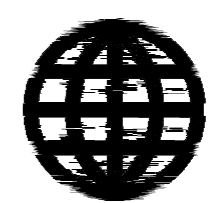
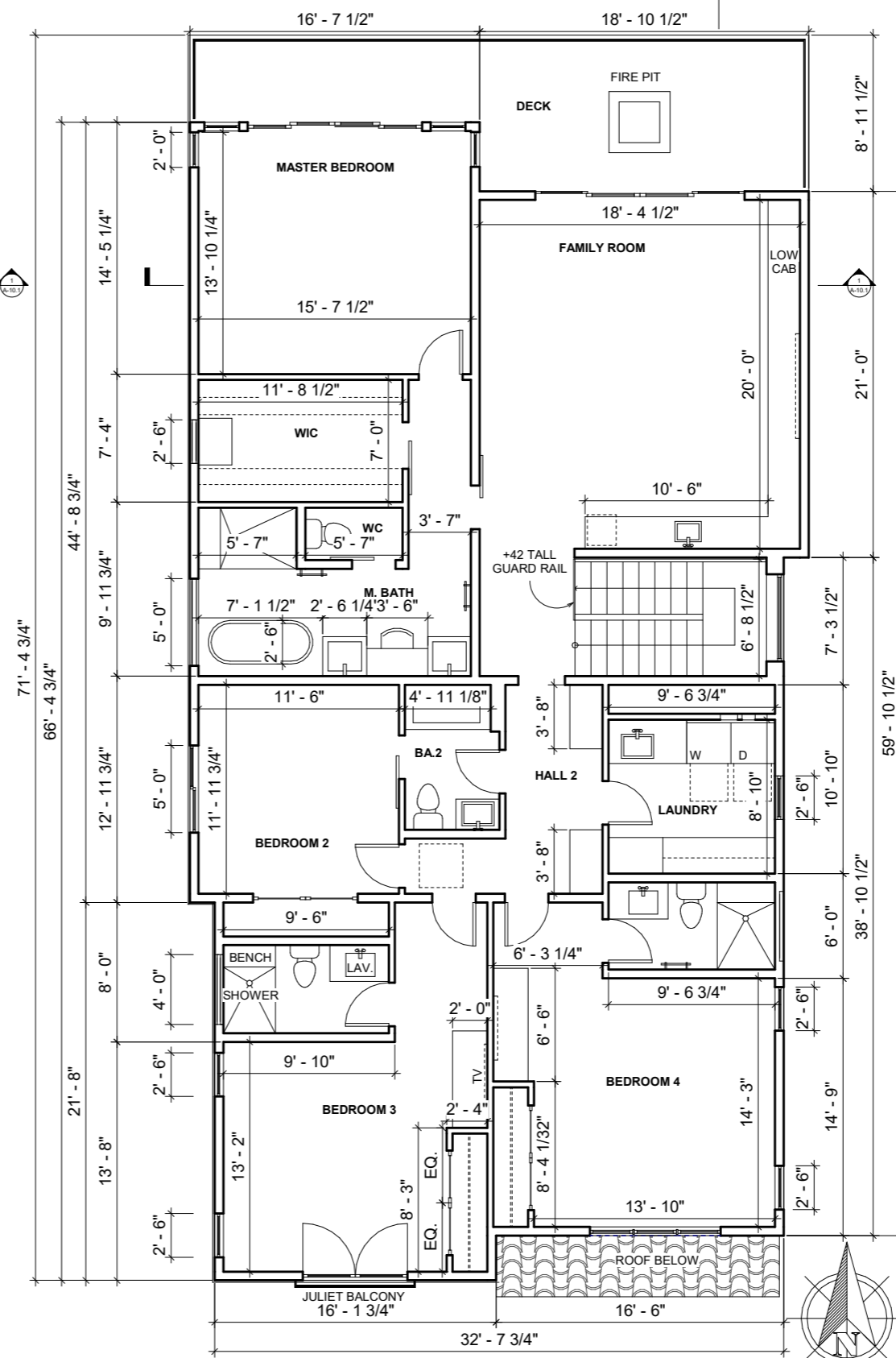
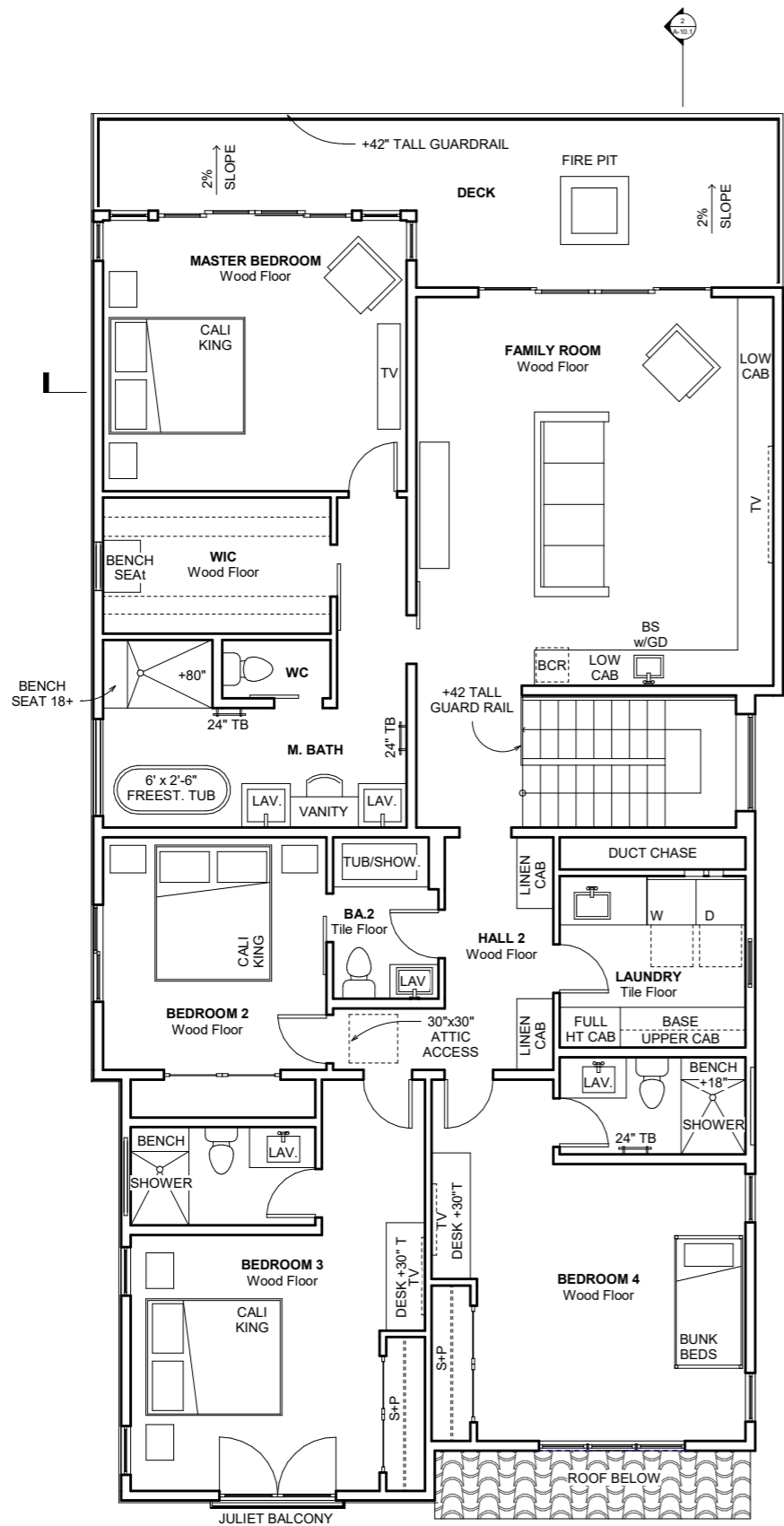
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A-4.1

Scale  
6/7/2021 10:51:42 AM 3/8" = 1'-0"

A105

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SECOND FLOOR  
PLAN

Owner

Project Name

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A-4.2

Scale  
3/8" = 1'-0"

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**ROOF MATERIALS**

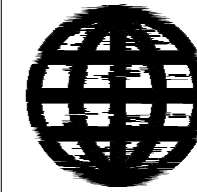
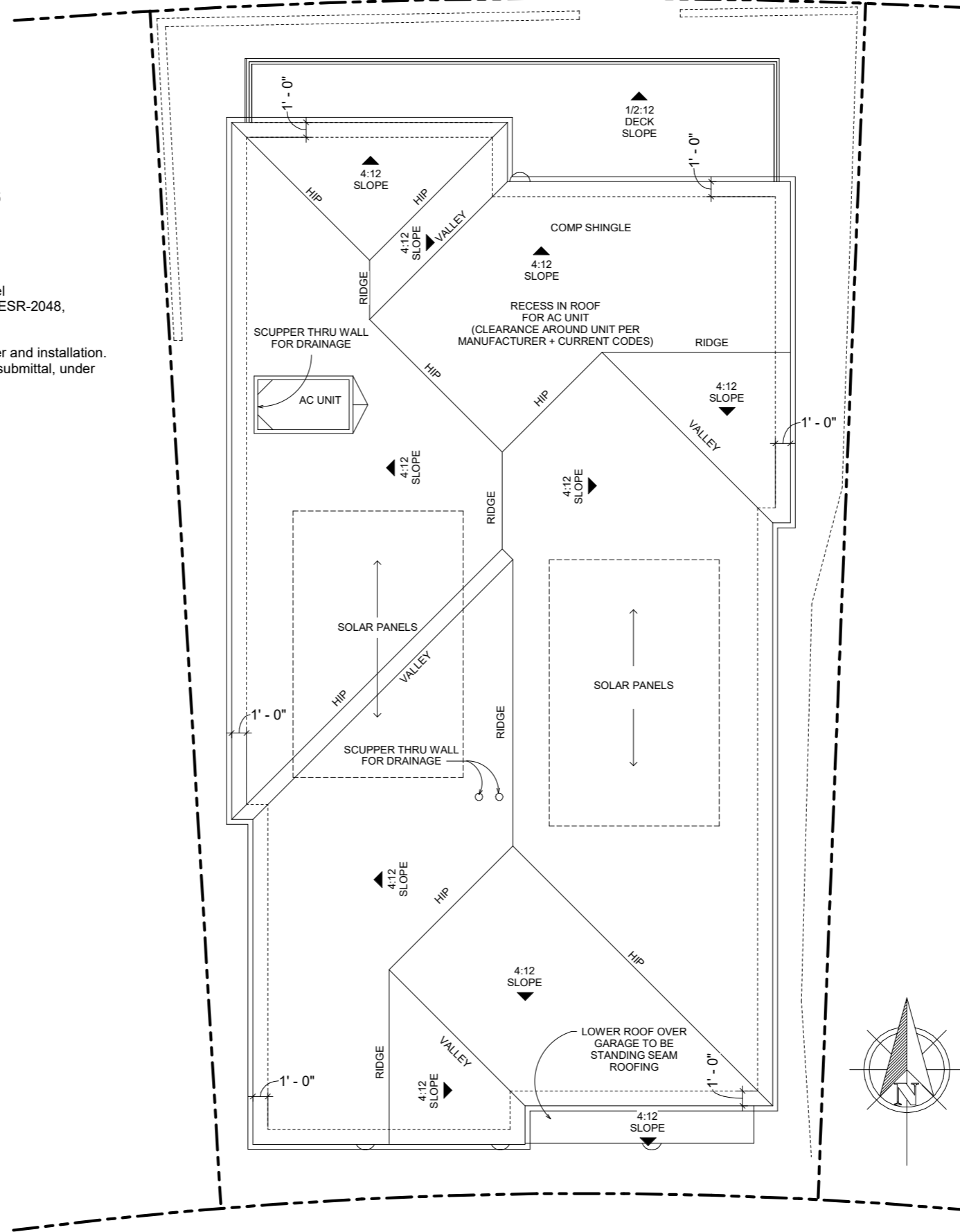
All products listed below shall be installed per manufacturer's instructions so as not to void warranties.

Comp shingle over second floor: 50 year class 'A'.  
Composition roofing tile by GAF (or equal) ICC-ES ESR-1475  
Profile and color to match existing.

Flat roof at AC unit: to be 3-ply built-up roofing by "GAF"  
ASTM D1079, classification 'A' material.

Standing seam roof over garage: Titan CB-150 16" wide panel  
by CUSTOM BILT METAL (www.custombiltmetals.com) ICC-ESR-2048,  
Class A roofing, 1.5LBS per sf.

New solar panels at roof. review all requirements prior to order and installation.  
hook up to electrical panel per manufacturer's specs. deferred submittal, under  
separate permit.



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ROOF PLAN

Owner

Project Name

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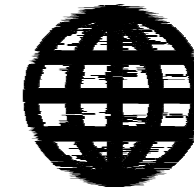
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A-5.1

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SECTION

Owner

Project Name

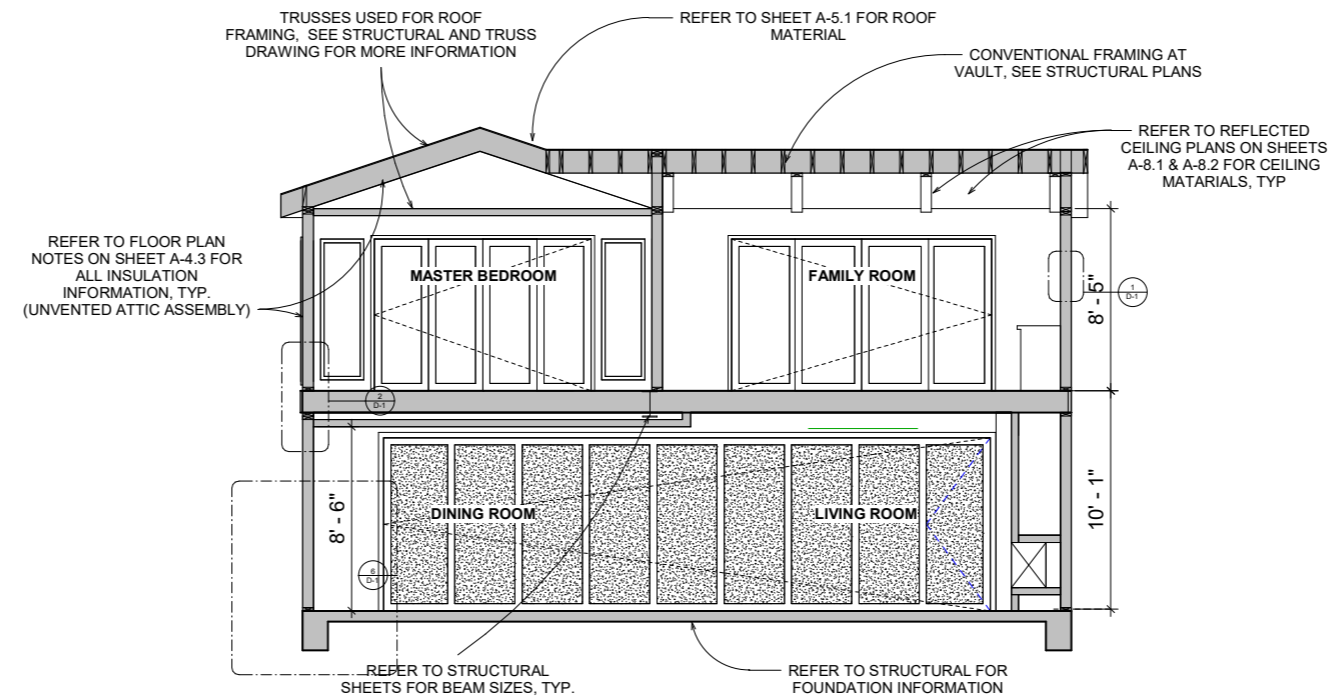
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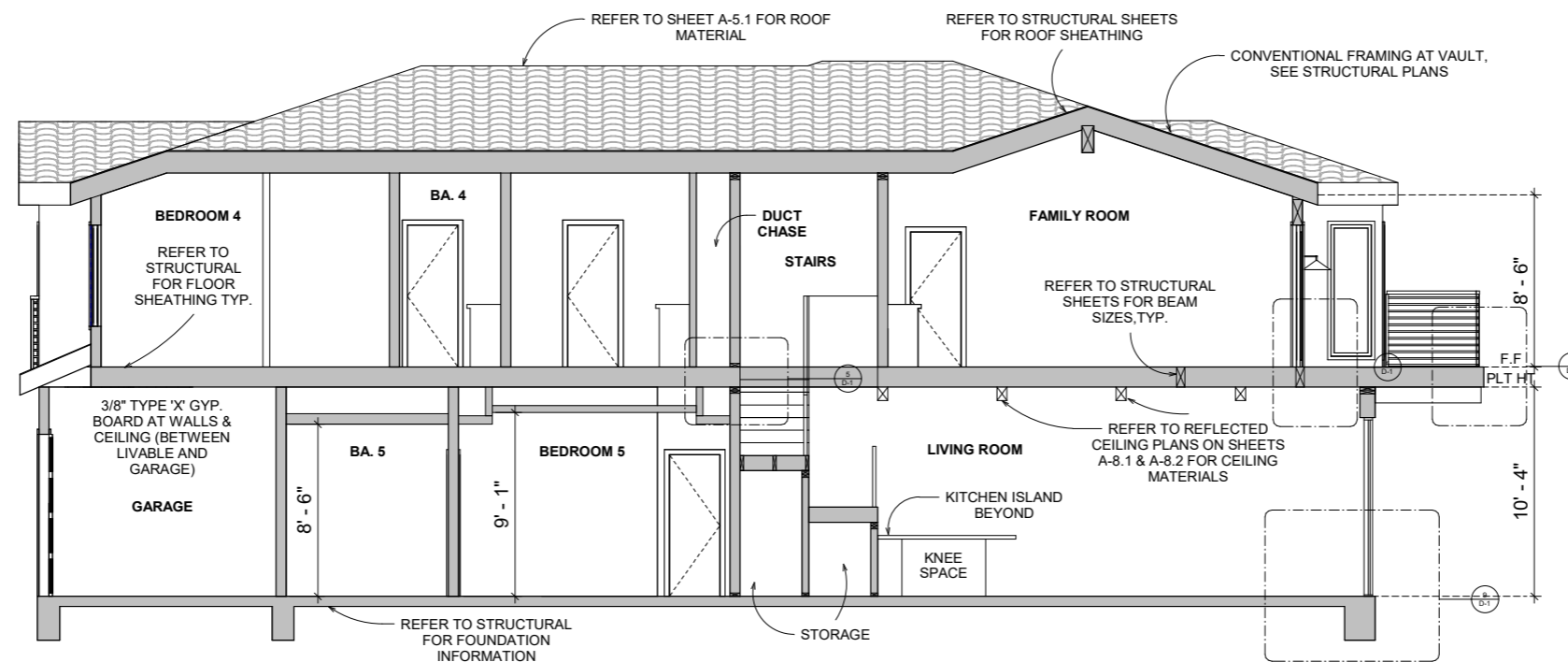
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6/7/2021 10:51:45 AM Scale 3/8" = 1'-0"

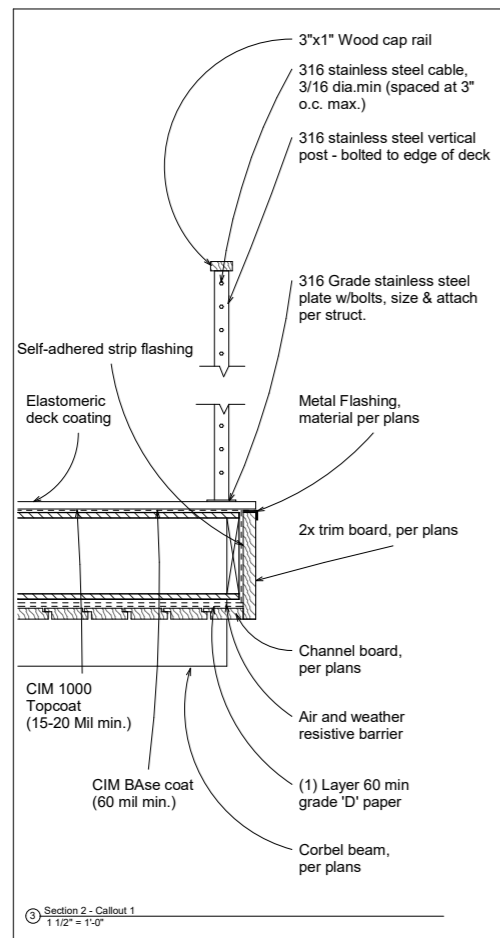


Section 1  
3/8" = 1'-0"



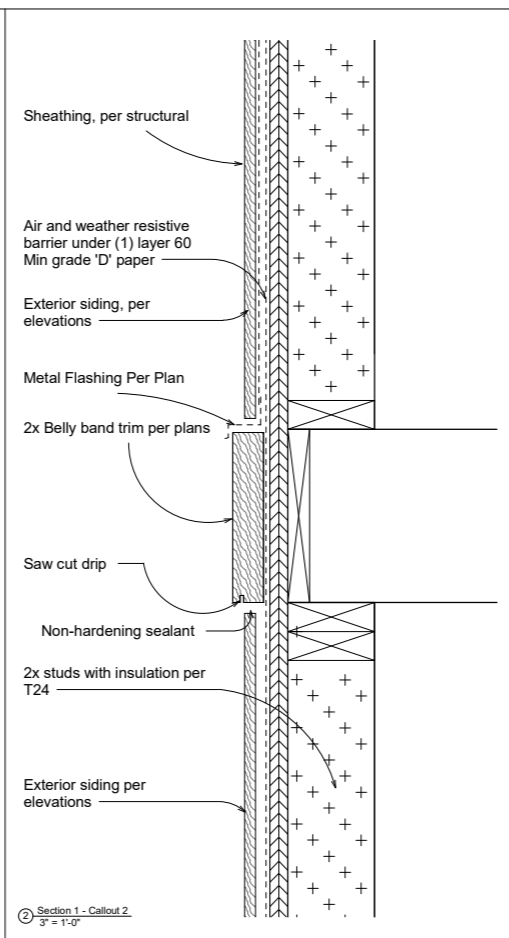
Section 2  
3/8" = 1'-0"





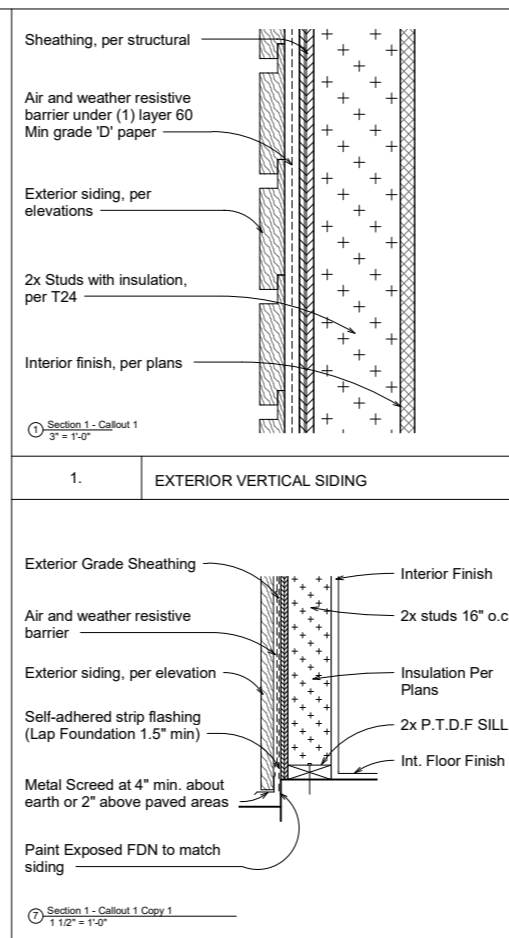
Section 2 - Callout 1  
1 1/2" = 1'-0"

8. EXTERIOR GUARDRAIL AT BALCONY



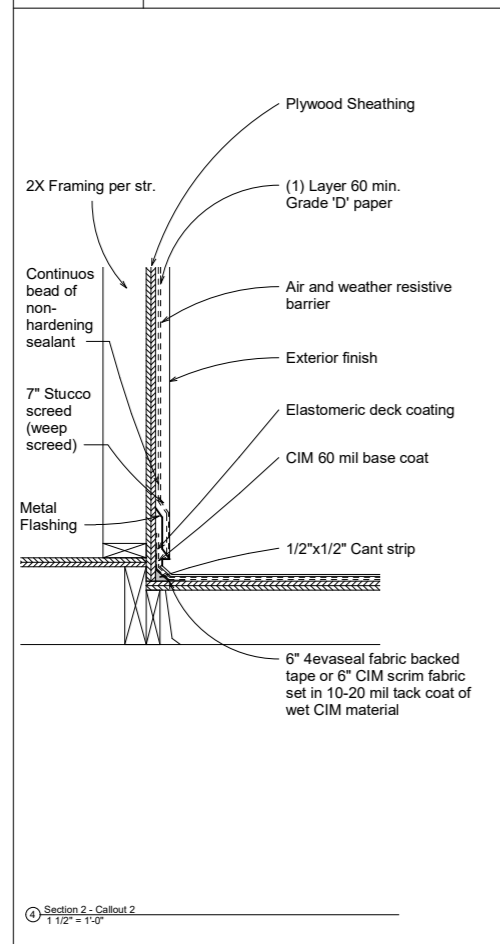
Section 1 - Callout 2  
3" = 1'-0"

5. BELLY BAND



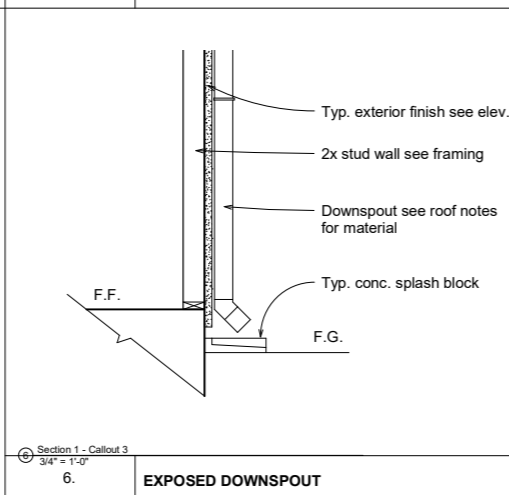
Section 1 - Callout 1 Copy 1  
1 1/2" = 1'-0"

2. SIDING AT SCREED



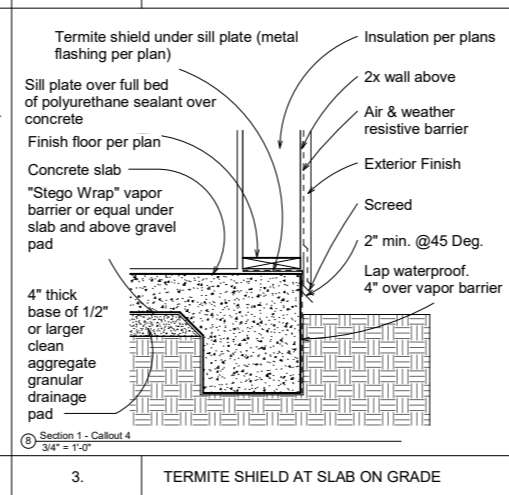
Section 2 - Callout 2  
1 1/2" = 1'-0"

9. DECK TO WALL FLASHING



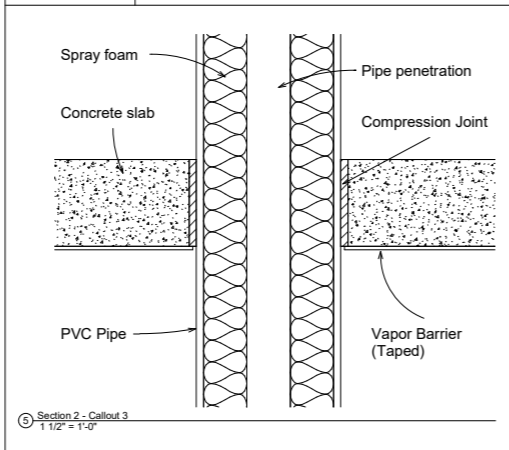
Section 1 - Callout 3  
3/4" = 1'-0"

6. EXPOSED DOWNSPOUT



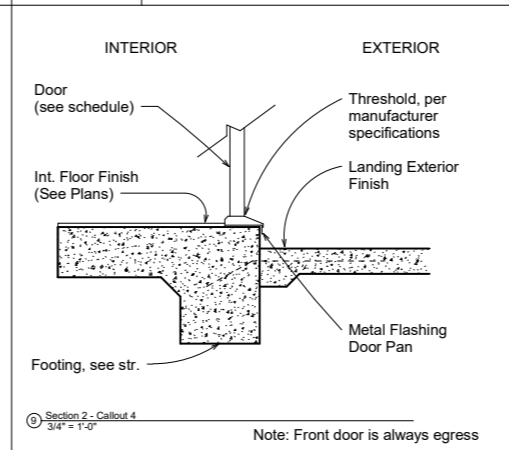
Section 1 - Callout 4  
3/4" = 1'-0"

3. TERMITE SHIELD AT SLAB ON GRADE



Section 2 - Callout 3  
1 1/2" = 1'-0"

7. PEST CONTROL - PIPE PENETRATION



Section 2 - Callout 4  
3/4" = 1'-0"

4. TYPICAL THRESHOLD

**FLASHING AND WATERPROOFING**

All products listed below shall be installed per manufacturer's instructions so as not to void warranties.

**AIR AND WEATHER RESISTIVE BARRIER, SHEET APPLIED** (walls, above grade), Dupont, Tyvek Homewrap or architect approved equal.

-Installation: Provide two layers comprising of (1) base layer air and weather resistive barrier applied to framing/sheathing and (1) top layer "grade D" building paper.

**SELF-ADHERED STRIP FLASHING:**

(Door/Window heads and jambs and misc wall flashing): Dupont Straightflash or Architect approved Equal. Must be 100% butyl.

**SELF-ADHERED FLEXIBLE FLASHING (WINDOW SILL):** Dupont flexwrap NF or architect approved equal. Must be 100% butyl.

**SELF-ADHERED STRIP FLASHING (COMP ROOF TYP):** Grace Ice and water or architect approved equal. Must be 100% butyl.

**HIGH TEMPRATURE SELF-ADHERED STRIP FLASHING (METAL ROOF):** Grace Ultra or architect approved equal. Must be 100% butyl.

**ROOFING UNDERLAYMENT** (Comp roof typ): 15 lb. felt paper.

**ROOFING UNDERLAYMENT (Metal Roof):** High temp self-adhering rubberized membrane, "Polystick" by Polyglass or architect approved equal. (Weight: 0.35 lbs/sf; ICC ESR #1697, ASTM D 1970).

**BELOW GRADE HORIZONTAL AND VERTICAL WATERPROOFING:** Carlise Miraply, Grace Preprufe or architect approved equal.

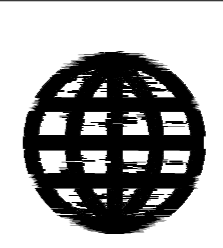
**DAYLIGHT FOUNDATION AND THROUGH WALL WATERPROOFING:** Aquafin 2K or architect approved equal.

**DAYLIGHT FOUNDATION - ALUMINIZED COATING SYSTEM:** Tremco Vulken 801 or architect approved equal.

**DECK WATERPROOFING UNDER TILE/STONE:** CIM 1000 90Mil or architect approved equal.

**ELASTOMERIC DECK COATING:** Aquafin 2K over CIM 1000 90Mil or architect approved equal. Aquafin 2K by owner/architect.

**FLASHING AND SCREEDS:** 24 Guage bonderized/galvanized flashing.



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ARCHITECTURAL DETAILS

Owner

Project Name

Revision:	
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D-1

Scale: As indicated

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Note: Front door is always egress

FIXTURE			
L1	LAVATORY	MASTER BATH	LAVATORY
L2	LAVATORY	BATH 2	LAVATORY
L3	LAVATORY	BATH 3	LAVATORY
L4	LAVATORY	BATH 4	LAVATORY
L5	LAVATORY	BATH 5	LAVATORY
L6	LAVATORY	POWDER ROOM	LAVATORY
WC	LAVATORY	MASTER BATH	LAVATORY
WC 1	WATER CLOSET	BATH 2	WATER CLOSET
WC 3	WATER CLOSET	BATH 3	WATER CLOSET
WC 4	WATER CLOSET	BATH 4	WATER CLOSET
WC 5	WATER CLOSET	BATH 5	WATER CLOSET
WC 6	WATER CLOSET	POWDER ROOM	WATER CLOSET
DS	WATER CLOSET	KITCHEN	WATER CLOSET
VS	DISH SINK	KITCHEN	DISH SINK
BS	SERVICE SINK	FAMILY ROOM	SERVICE SINK
SS	FREESTANDING	LAUNDRY ROOM	FREESTANDING
TUB 1	ALCOVE TUB	BATH 2	ALCOVE TUB

- Contractor shall install all the fixtures/faucets - even if provided by owner
- Verify final fixture selection & color w/owner - prior to placing order.
- All faucets shall be provided by owner.
- Required flow rates.  
Water closets: <1.28 gpm  
Urinals: <0.5 Gal/Flush  
Single shower heads: <2.0 gpm @ 80 psi  
Multiple shower heads: Combined flow rate of all showerheads and/or other shower outlets controlled by a single valve shall not exceed 2.0 gpm @80 psi or only one shower outlet is to be in operation at a time.  
Residential lavatory faucets: < 1.8gpm @ 60 psi: temporary increase to 2.2 gpm allowed but shall default to 1.8 gpm
- See the calgreen requirements, refer to mandatory measures sheets.

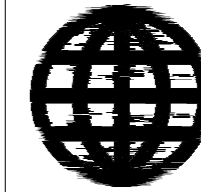
MECHANICAL			
SYM	UNIT	SUPPLYING	REMARKS
FAU	HEATING	ZONED/ WHOLE HOUSE	IN ATTIC
A/C	COOLING	WHOLE HOUSE	ON ROOF
T	THERMOSTAT	-	SEE MECH. PLANS
WH	WATER HEATER	WHOLE HOUSE	INSTALL GAS RECIRC.
WT	WATER TREATMENT	WHOLE HOUSE	FUTURE UNIT IN GARAGE

DOORS			
S	SIZE OF DOOR	DESCRIPTION	U-FACTOR
1	18'-0" x 8'-0"	GARAGE DOOR -METAL	N/A
2	8'-0" x 8'-0"	GARAGE DOOR - METAL	N/A
3	3'-0" x 8'-0"	EXT. DOOR AT GOLF CART	N/A
4	3'-0" x 8'-0"	EXT. DOOR AT GARAGE	N/A
5	3'-0" x 8'-0"	INT. DOOR AT GARAGE	N/A
6	2'-6" x 8'-0"	INT. DOOR AT POWDER	N/A
7	2'-6" x 8'-0"	INT. DOOR AT BEDROOM 6	N/A
8	2'-6" x 8'-0"	INT. DOOR AT BEDROOM 3	N/A
9	2'-6" x 8'-0"	INT. DOOR AT BEDROOM 3 W.I.C.	N/A
10	3'-0" x 8'-0"	INT. DOOR AT BATHROOM 5	N/A
11	3'-0" x 8'-0"	INT. DOOR AT HALL 1	N/A
12	2'-0" x 8'-0"	INT. DOOR UNDER ST. CLST.	N/A
13	3'-0" x 8'-0"	EXT. DOOR AT ENTRY	N/A
14	28'-0" x 8'-0"	EXT. DOOR AT LIVING/DINING	N/A
15	6'-0" x 7'-0"	EXT. DOORS AT BEDROOM 3	N/A
16	8'-0" x 7'-0"	INT. DOORS AT BEDRM 3CLST	N/A
17	3'-0" x 8'-0"	EXT. DOOR AT GOLF CART	N/A
18	3'-0" x 8'-0"	EXT. DOOR AT GARAGE	N/A
19	3'-0" x 8'-0"	INT. DOOR AT GARAGE	N/A
20	2'-6" x 8'-0"	INT. DOOR AT POWDER	N/A
21	3'-6" x 8'-0"	INT. DOOR AT BATHROOM	N/A
22	2'-6" x 8'-0"	INT. DOOR AT BATHROOM 2	N/A
23	2'-6" x 8'-0"	INT. DOOR AT BEDROOM 4	N/A
24	3'-0" x 8'-0"	INT. DOOR AT BATHROOM 5	N/A
25	3'-0" x 8'-0"	INT. DOOR BEDROOM 4	N/A
26	2'-0" x 8'-0"	INT. DOOR LAUNDRY ROOM	N/A
27	3'-0" x 8'-0"	EXT. DOOR AT ENTRY	N/A
28	28'-0" x 8'-0"	EXT. DOOR AT LIVING/DINING	N/A
29	6'-0" x 7'-0"	EXT. DOORS AT BEDROOM 3	N/A
30	3'-0" x 8'-0"	INT. DOOR MASTER W.I.C	N/A
31	3'-0" x 7'-0"	INT. DOOR MASTER BEDROOM	N/A
32	10'-0" x 7'-0"	EXT. DOORS MASTER BEDROOM	N/A
33	12'-0" x 7'-0"	EXT. DOOR FAMILY ROOM	N/A

\*FIELD VERIFY ALL OPENINGS PRIOR TO ORDER\*

WINDOWS			
S	SIZE OF DOOR	DESCRIPTION	U-FACTOR
A	2'-0" x 1'-6" AW	BATH 5 - FROSTED GLASS	0.34
B	3'-3" x 5'-6" DH	BEDROOM 5	0.34
C	5'-0" x 5'-0" SL	BEDROOM 6	0.34
D	2'-6" x 5'-0" C	BEDROOM 4	0.34
E	2'-6" x 5'-0" C	BEDROOM 4-EGRESS	0.34
F	4'-0" x 1'-6" AW	BATH 4- FROSTED GLASS	0.34
G	2'-6" x 4'-0"	LAUNDRY ROOM	0.34
H	5'-0" x 7'-0"	STAIRWELL	0.34
J	2'-0" x 7'-0"	MASTER BEDROOM	0.34
K	2'-0" x 6'-6"	MASTER BEDROOM	0.34
L	2'-0" x 6'-6"	MASTER BEDROOM	0.34
M	2'-0" x 6'-6"	MASTER BEDROOM	0.34
N	2'-6" x 3'-0"	MASTER W.I.C	0.34
P	5'-0" x 5'-0"	MASTER BATH.	0.34
Q	5'-0" x 5'-0"	BEDROOM 2	0.34
R	4'-0" x 1'-6"	BATH 3	0.34
S	2'-6" x 5'-0"	BEDROOM 3	0.34

\*FIELD VERIFY ALL OPENINGS PRIOR TO ORDER\*



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Author

DOOR/WINDOW/PLUMBING  
SCHEDULES

Owner

Project Name

Revision:

Revision:

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SCH-1

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Scale